

DA NO: DA-2021/6/A

ADDRESS: 1 DORSET ROAD, NORTHBRIDGE NSW 2063.

PROPOSAL: MODIFY ORIGINAL PROPOSAL TO INCLUDE ALTERATIONS TO ENTRY LOBBY, LOWER GROUND AND CABANA, DELETION OF GYM, AND ADDITION OF DRAINAGE CAVITY TO BOATSHED AND ASSOCIATED WORKS.

RECOMMENDATION: APPROVAL

ATTACHMENTS:

1. SITE DESCRIPTION AND AERIAL PHOTO
2. DEVELOPMENT CONTROLS, STATISTICS, DEVELOPER CONTRIBUTION & REFERRALS
3. SECTION 4.55 ASSESSMENT
4. SECTION 4.15 (79C) ASSESSMENT
5. SUBMISSIONS TABLE
6. SCHEDULE OF CONDITIONS
7. NOTIFICATION MAP

RESPONSIBLE OFFICER: RITU SHANKAR - TEAM LEADER

AUTHOR: PATRICK WILLIAMS - DEVELOPMENT ASSESSMENT OFFICER

REPORT DATE: 31 AUGUST 2023

REPORT FOR: 12 SEPTEMBER 2023

1. PURPOSE OF REPORT

The purpose of this report is to seek determination by Willoughby Local Planning Panel (WLPP) of modification application DA-2021/6/A. The application seeks consent to modify the original proposal for Modify original proposal to include alterations to entry lobby, lower ground and cabana, deletion of gym, and addition of drainage cavity to boatshed and associated works. at 1 Dorset Road, Northbridge.

The application is required to be referred to the WLPP for determination because the proposed modifications result in more than 10 submissions.

2. OFFICER'S RECOMMENDATION

THAT the Willoughby Local Planning Panel:

2.1 Approve Development Application DA-2021/6/A for modify original proposal to include alterations to entry lobby, lower ground and cabana, deletion of gym, and addition of drainage cavity to boatshed and associated works at 1 Dorset Road, Northbridge NSW 2063, subject to conditions contained in Attachment 6, for the following reasons:

2.1.1 The proposal is consistent with the objectives of C4 – Environmental Living zone and objectives of the development standards under WLEP 2012.

2.1.2 The proposed development is considered to be consistent with the objectives for dwelling houses contained in Part D.1 of the Willoughby DCP.

2.1.3 The proposed development will have acceptable amenity impacts on neighbouring properties and is consistent with the streetscape and natural character of the locality.

3. BACKGROUND

The original development application (DA-2021/6) for alterations and additions to existing dwelling including new carport, swimming pool, cabana, boatshed, landscaping and associated works was granted consent by the Willoughby Local Planning Panel on 27 July 2021.

The site was later issued with a private complying development certificate (CD-2022/374) relating to internal alterations and another DA (DA-2021/307) for an inclinor. All of which are being constricted concurrently with the parent approval.

The site has been referred to Council's compliance team for a number of matters, mainly works outside the scope of the original approval being the excavation of the drainage void for the boat shed which form part of this modification. These works were also flagged by the PCA which also notified council. In addition to the drainage void, a recent inspection prior to the panel meeting for this report shows that the entrance area is also under construction as proposed in the modification. Pictures below:



Figure 1: retaining wall for drainage void constructed consistent with modification.



Figure 2: Current entrance area at road frontage consistent with modification.

4. DISCUSSION

The modification application proposes:

- Garage and entry:
 - o Enclosure of connection to street level entry lobby
 - o Change in materials including change from see through wooden battening to solid glass and block walls;
 - o Garage door wooden batten to panel door with $\frac{3}{4}$ see through panels.

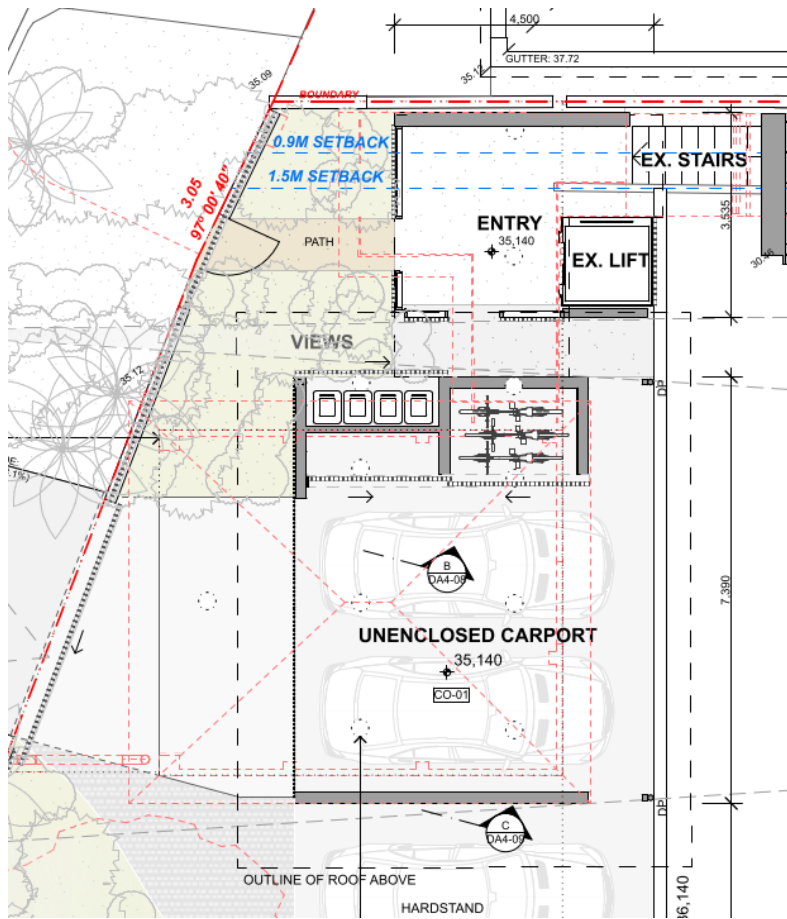


Figure 3: Approved entrance and garage floor plan

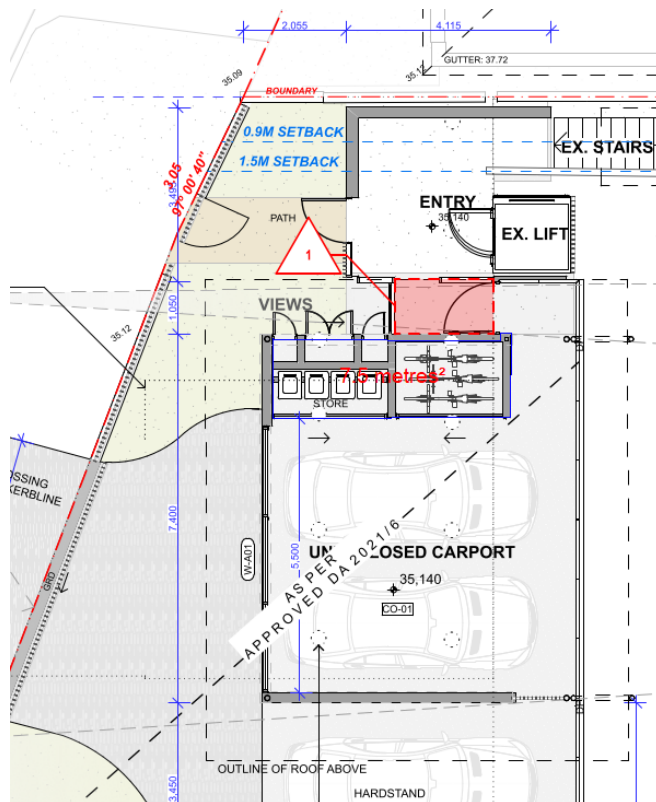


Figure 4: Proposed entrance and garage floor plan

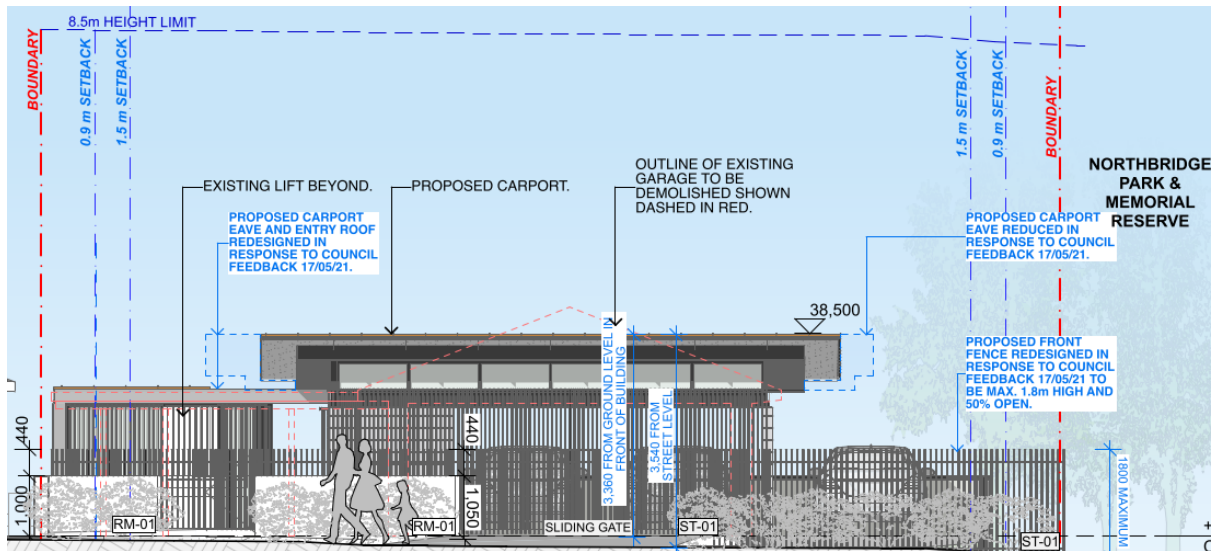


Figure 5: Approved front elevation

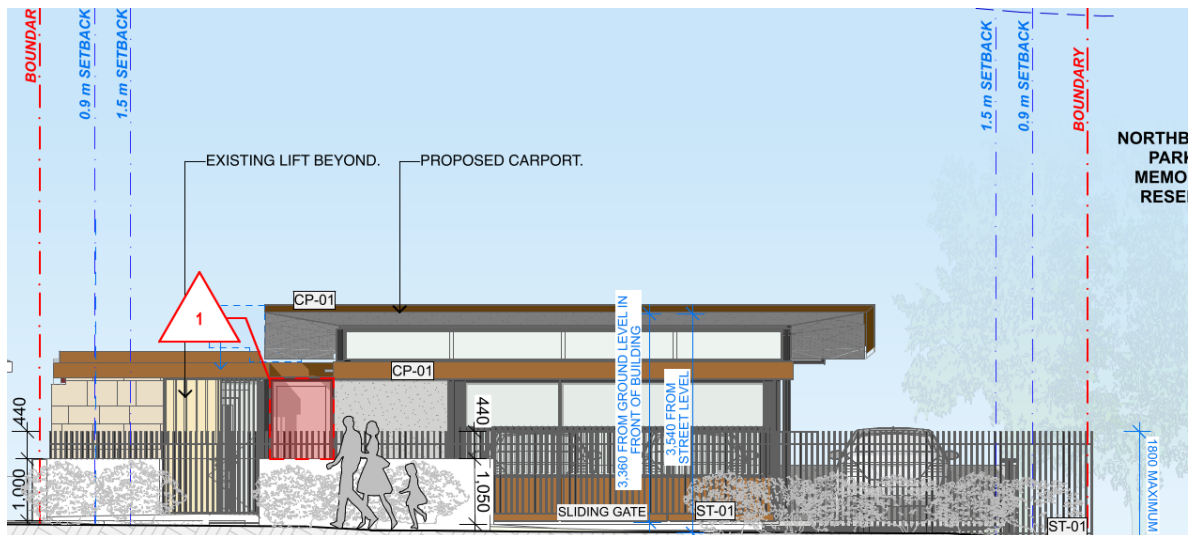


Figure 6: Proposed front elevation

- Ground floor
 - o Removal the gym under tennis court;

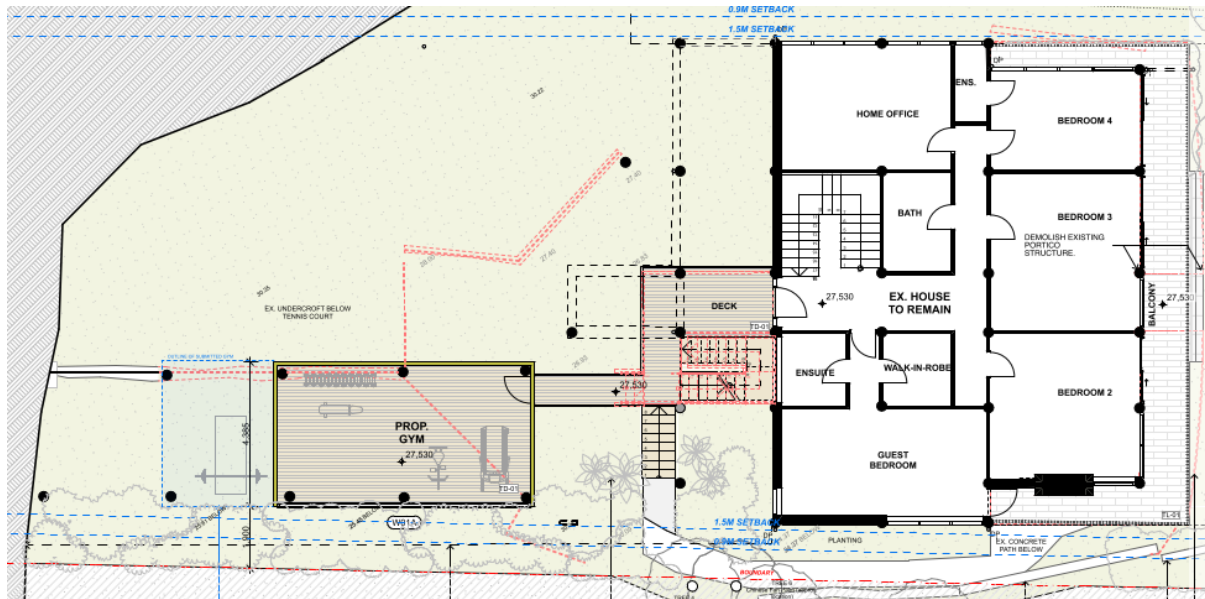


Figure 7: Approved ground floor plan

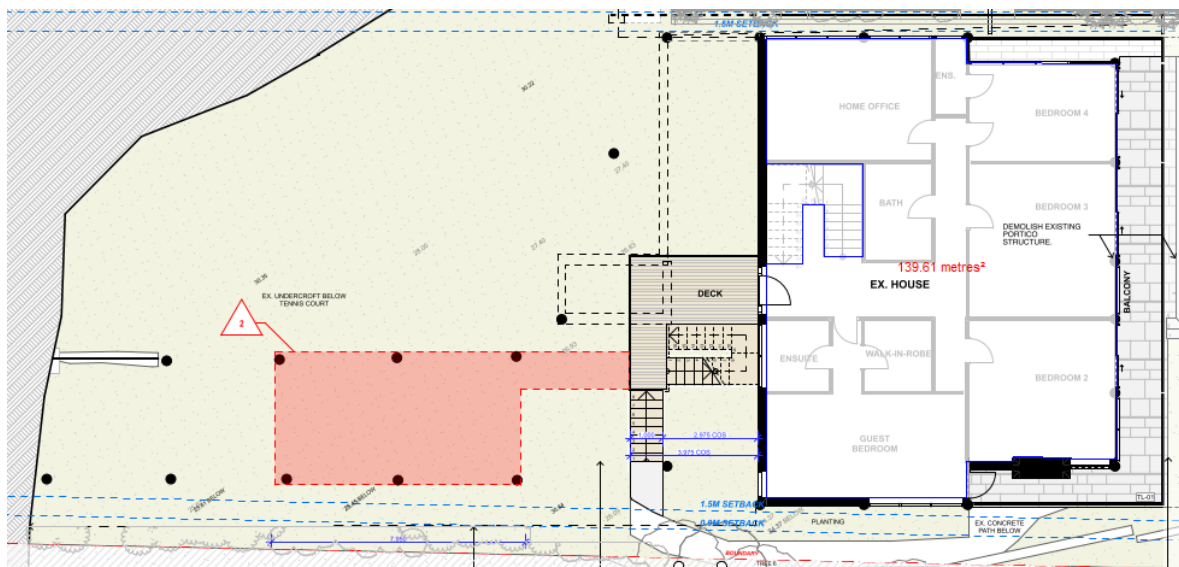


Figure 8: Proposed ground floor plan

- Lower Ground Floor
 - o Minor additional floor area added to the lower ground of the existing house;
 - o Extension of terrace area;
 - o Cabana floor level lowered by 300mm;

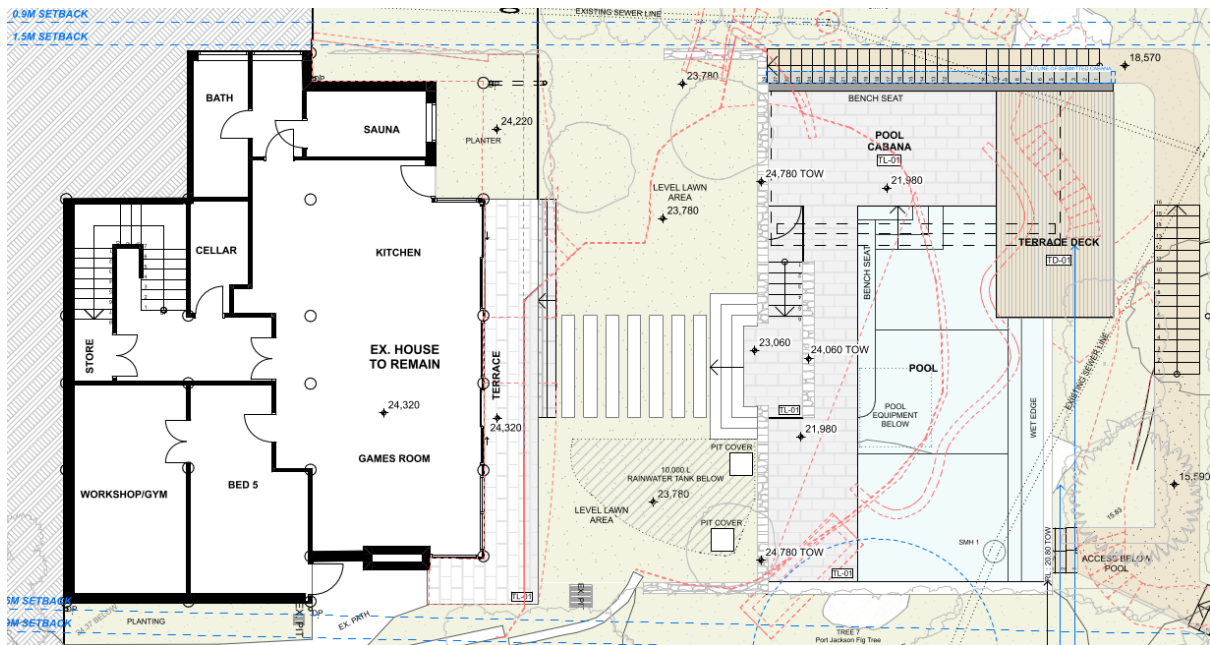


Figure 9: Approved lower ground floor plan

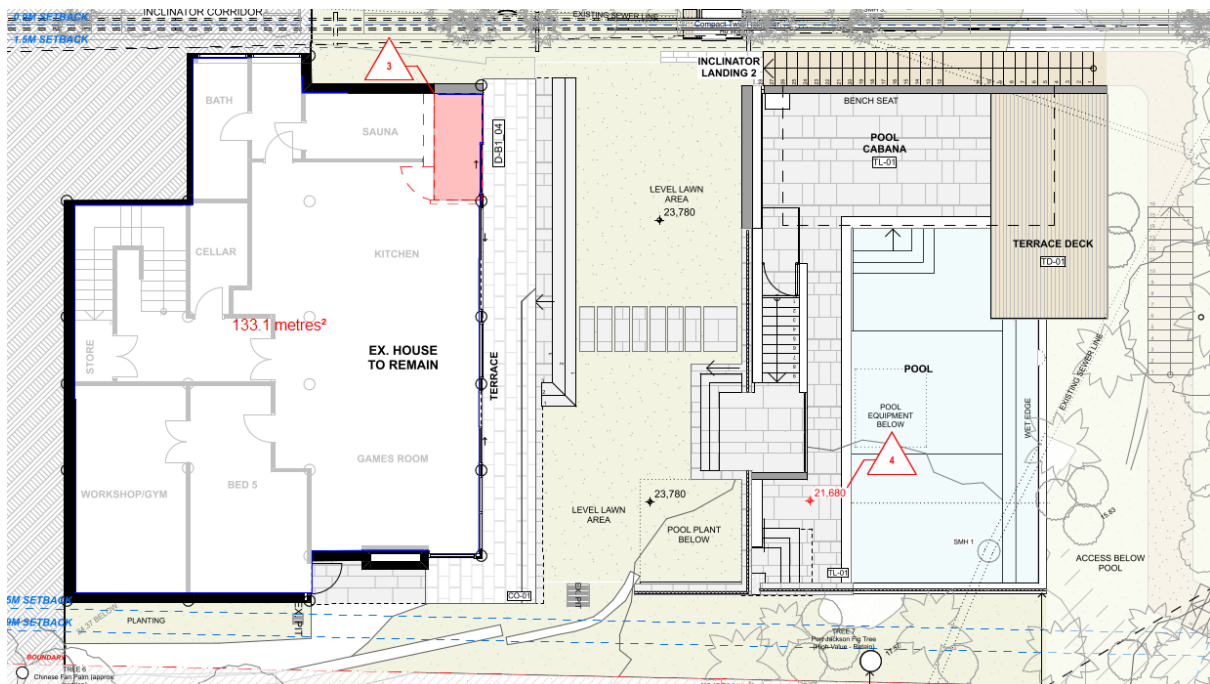


Figure 10: Proposed lower ground floor plan

- Boat shed
 - o Additional 500mm excavation into site to allow for a drainage cavity supported by retaining wall.

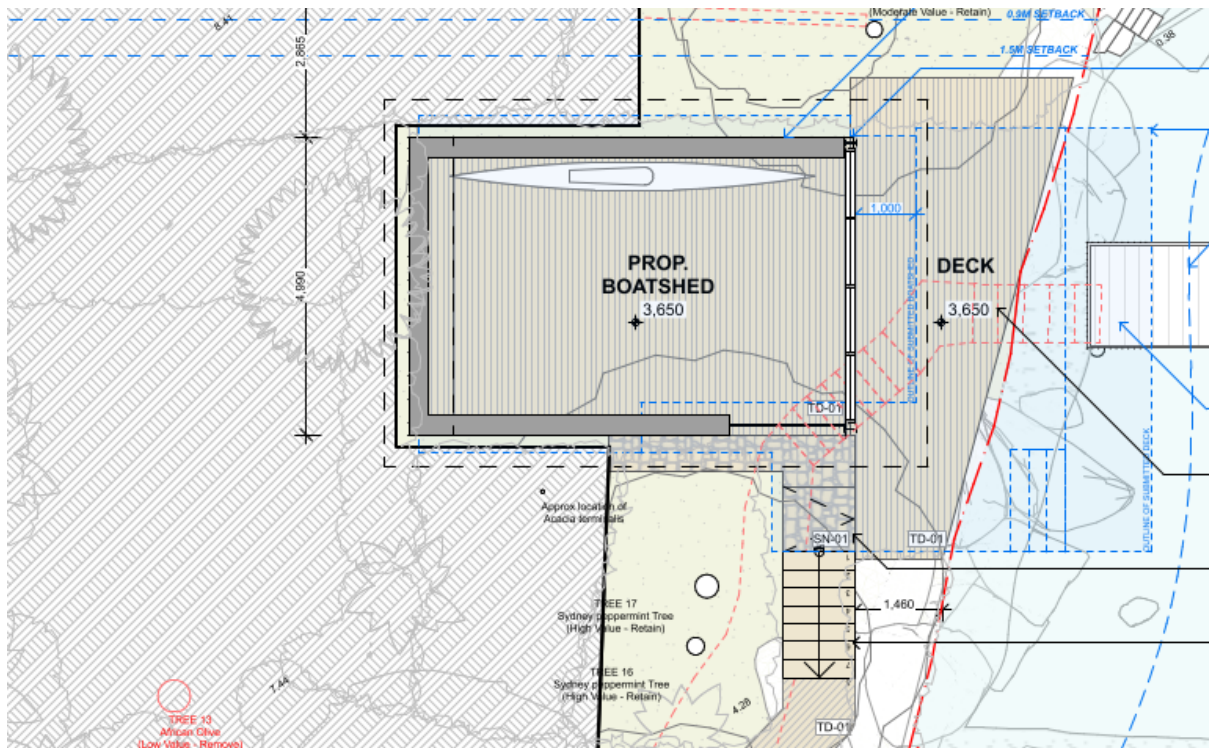


Figure 11: Approved boat shed

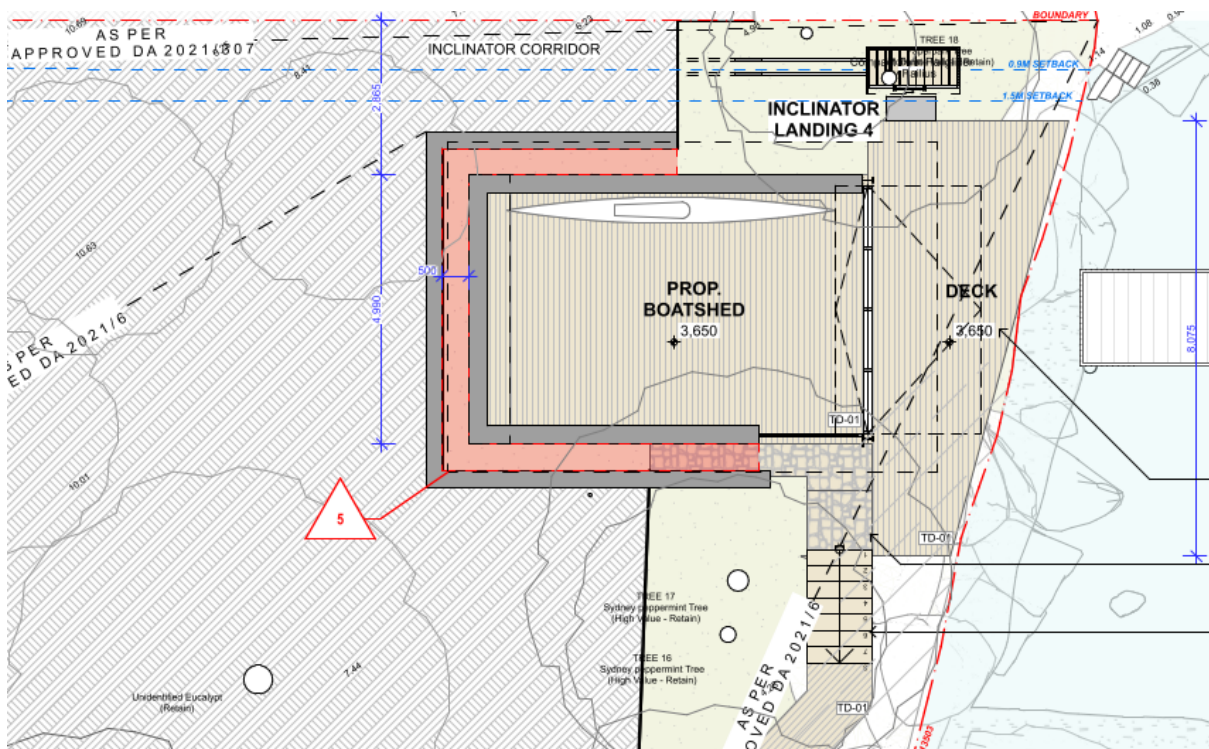


Figure 12: Proposed boat shed

A description of the site and surrounding area, including an aerial photograph is contained in **Attachment 1**.

The controls and development statistics that apply to the subject land are provided in **Attachment 2**.

An assessment in accordance with S4.55 of the *Environmental Planning and Assessment Act* (EP&A Act) is provided in **Attachment 3**.

An assessment in accordance with S4.15 (79C) of the EP&A Act is provided in **Attachment 4**.

The issues within the submissions objecting to the proposal and the assessing officer's response are contained in **Attachment 5**.

The **WLPP plans** used for this assessment can be found under the DA tracking functionality for this application on Council's website:

<https://eplanning.willoughby.nsw.gov.au/Pages/XC.Track/SearchApplication.aspx?id=524135>

5. CONCLUSION

The modification application DA-2021/6/A has been assessed in accordance with Section 4.15 (79C) of the *Environmental Planning and Assessment Act 1979*, *WLEP 2012*, *WDCP*, and other relevant codes and policies. It is considered that the proposal is acceptable in the particular location, subject to the consent conditions included in **Attachment 6**.

ATTACHMENT 1: SITE DESCRIPTION AND AERIAL PHOTO

The subject site is located at the end of the cul-de-sac on the southern side of Dorset Road. It adjoins the Northbridge Park and Memorial Reserve to the west and Long Bay to the south (rear) (Figure 2).



Figure 13: Aerial view of the subject site

The site is occupied by a 3-storey concrete dwelling house with a double garage facing Dorset Road, a tennis court located between the garage and dwelling house, and a swimming pool located to the south (rear) facing Long Bay (Figures 3, 4, and 5). The double garage is accessed via Dorset Road (Figure 3) and a jetty is located on the south adjoining Long Bay. The subject site falls steeply from Dorset Road (front) to Long Bay (rear).

Development in the surrounding locality comprises a mix of part 2-storey and part 3-storey dwelling houses. Northbridge Park and Memorial Reserve is adjacent to the west. Northbridge Golf Club is accessible via a track located to the north-western of the cul-de-sac. Properties adjoining to the east have their boatshed and jetty accessed to Long Bay (Figure 2).



Figure 14: Front view of the subject site from Dorset Road (prior to work starting)



Figure 15: Existing tennis court located between the front garage and dwelling house (prior to work starting)



Figure 16: Rear view of the subject site (prior to work starting)

ATTACHMENT 2: CONTROLS & DEVELOPMENT STATISTICS AND REFERRALS

Willoughby Local Environmental Plan 2012 Zoning:	C4 – Environmental Living
Existing Use Rights	No
Additional Permitted Use	No
Conservation area	No
Aboriginal Heritage	Modifications do not impact further form the parent consent.
Heritage Item	No
Vicinity of Heritage Item	Yes - Local Heritage Item I180 Northbridge Park & Memorial Reserve including Northbridge Golf Club adjacent to the west and north.
Natural Heritage Register	No
Bushfire Prone Area	Yes – FZ rating remains.
Foreshore Protection Area	Yes
Flood related planning control	No
Adjacent to classified road	No
Road/lane widening	No
BASIX SEPP	Yes
Infrastructure SEPP - Rail	No
Infrastructure SEPP – Road	No
Acid Sulphate Soil Category	5
Development near Lane Cove Tunnel	No
Contaminated Land	No
Adjacent / above Metro	No
Other relevant SEPPS	SEPPS (Biodiversity and Conservation) & (Resilience and Hazards) 2021
Relevant policies and resolutions	WDCP

Development Statistics					
2,030	Site Area (m²)	2042.4m²			
Willoughby Local Environmental Plan 2012 (“WLEP 2012”)					
WLEP Control		Approved	Proposed	Standard	Compliance
CI 4.3	Height (m)	11.39	11.39m	8.5m	No change from parent approval.
CI 4.4 and CI 4.4A	Gross Floor Area (m²)	496.74	485.81	507.5	Yes
	FSR	0.245:1	0.237:1	0.25:1	
Willoughby Development Control Plan (WDCP)					
WDCP		Approved	Proposed	Standard	Compliance
C.4	Car spaces	3	No change	2	Yes

WDCP		Approved	Proposed	Standard	Compliance
D1.4.2.4	Colours	Mix of masonry finishes softened by natural stone, timber and muted tones that is compatible with the area.	Changes to the front entrance on the road frontage. The use of clear glazing with the stone is considered consistent with the street and maintains the views and vistas from Dorset road to a reasonable extent.	Sensitive to surroundings	Yes
D1.4.3.2	Two storey wall length	Articulation with windows	No change	6m max without articulation	Yes
D.1.7	Building Height Plane (BHP)	Upper floor and part of ground floor on the west and upper floor on the east do not comply	No change	envelope 3.5 m high at boundary and 45 degree angle inwards over site	No change from parent consent.
	Front Setback (m)	34	44.8	consistent with adjoining or 7m if no established building line	Yes
	Side Setback (m)	1.7	No change	0.9 (1.5m on 1 side E4 only)	Yes
	Side Setback (m)	1.7	No change		No ⁽³⁾
	Rear Setback (m)	49.2m	No change	6m for 2 storey dwelling and consistent with established line	Yes
D1.8	Soft Landscaped Area (m ²)	786m ² (38.7%)	No change	1116.6m ² (55%)	Yes
	Land-scaping within front setback area (%)	47.3m ² (34.6%)	No change	50% where < 18m frontage or 70% where > 18m frontage.	Yes
D1.9	Private open space (>400m ²)	>150m ²	No change	150m ²	Yes
D1.10	Private Recreation Facilities	Set back more than 1m from boundary	No change	Pools not to exceed 1.5m high setback min 1 m from	Yes

		and 1.5m above existing ground level		boundary. Tennis courts min setback 2m from boundary	
D1.11	Privacy		No change	Need for privacy protection	Yes
C10.3	Minor structures permitted in Foreshore Area	Boatshed and existing jetty	No change	Buildings not to exceed 3.5m above existing ground level. Gable or hipped roof.	Yes

Further comments by the assessment officer:

Given the retaining wall for the boat shed drainage void and partial walls of the front entrance have already been constructed, a new condition will be imposed to require the owner to obtain a building information certificate and its approval for the works should the panel consider approval. Condition 76A reflects this requirement.

Referrals

Landscape	No objection to modification subject to approved landscape plan and conditions already imposed.
WaterNSW	<p>The original DA had not made a referral under the Water Management Act, which is required due to the new storm water disposal design into the harbour, triggering GTA requirements under the Water Management Act. A referral for the Controlled Activity Approval was made and response as below:</p> <p><i>"I refer to your recent referral regarding an integrated Development Application (DA) proposed for the above location. Attached, please find Department of Planning and Environment—Water's General Terms of Approval (GTA) for part of the proposed development requiring a Controlled Activity approval under the Water Management Act 2000 (WM Act), as detailed in the subject DA. Please note Council's statutory obligations under section 4.46 of the Environmental Planning and Assessment Act 1979 (EPA Act) which requires consent, granted by a consent authority, to be consistent with the general terms of any approval proposed to be granted by the approval body. If the proposed development is approved by Council, the department requests these GTA be included (in their entirety) in Council's development consent."</i></p> <p>Conditions have been included and form proposed new condition 2A.</p>
NSW RFS	No objection subject to already imposed conditions.

ATTACHMENT 3: SECTION 4.55 ASSESSMENT

Considerations Under S4.55(2) EP&A Act - Other modifications

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

Satisfactory ✓ Unsatisfactory ✗ Not Relevant N/A

(a)	It is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all).	✓
	Comment: The proposed modification is substantially the same development.	
(b)	It has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 5) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent.	✓
	Comment: NSW RFS and Water NSW have been referred the modification with comments and conditions within this report.	
(c)	It has notified the application in accordance with: the regulations, if the regulations so require, or a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent.	✓
	Comment: The modified application was notified in accordance with Part D and E of <i>Willoughby Community Participation Plan (WCPP)</i> from 14 Nov 2022 to 05 Dec 2022. Council received 12 submissions and is addressed in Attachment 5 of this report.	
(d)	It has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.	✓
	Comment: Council received 12 submissions and is addressed in Attachment 5 of this report.	

ATTACHMENT 4: SECTION 4.15 (79C) ASSESSMENT

The application has been assessed under the provisions of S.4.15 (79C) of the *Environmental Planning and Assessment Act*.

The most relevant matters for consideration are assessed under the following headings:

(a)(i)	The provisions of any environmental planning instrument (EPI)	
	<i>State Environmental Planning Policies (SEPP)</i>	✓
	<i>Regional Environmental Plans (REP)</i>	✓
	<i>Local Environmental Plans (LEP)</i>	✓
	Comment: The subject site falls within Zone No. W7 (Scenic Waters: Casual Use) in the SREP (Sydney Harbour Catchment) 2005. The proposed drainage void for the boatshed is considered to be consistent with the objectives of Zone No. W7 in respect to meet casual boating needs, achieve unobstructed waterway and does not dominate the landscape setting, and acceptable visual impact when view from the foreshore.	
(a)(ii)	The provision of any draft environmental planning instrument (EPI)	
	<i>Draft State Environmental Planning Policies (SEPP)</i>	N/A
	<i>Draft Regional Environmental Plans (REP)</i>	N/A
	<i>Draft Local Environmental Plans (LEP)</i>	N/A
	Comment: There are no draft EPIs that apply to the subject land.	
(a)(iii)	Any development control plans	
	<i>Willoughby Development Control Plan (WDCP)</i>	✓
	Comment: Compliance remains and is in line with the parent assessment and approval.	
(a)(iv)	Any matters prescribed by the regulations	
	Clause 92 EP&A Regulation-Demolition of a building to AS2061	✓
	Clause 93 EP & A Regulation-Fire Safety Considerations	N/A
	Clause 94 EP & A Regulation-Fire Upgrade of Existing Buildings	N/A
	Comment: A standard condition which requires any demolition to be carried out in accordance with the requirements of AS 2601 in included in the development consent.	
(b)	The likely impacts of the development	
	Context & setting	✓
	Access, transport & traffic, parking	✓
	Public domain	✓
	Utilities	N/A
	Heritage (including cl 5.10 <i>WLEP</i> – Development near Heritage item/Conservation area) – Local Heritage Item I180 Northbridge Park & Memorial Reserve including Northbridge Golf Club adjacent to the west and north.	✓
	Privacy	✓
	Views	✓
	Solar Access	✓
	Water and draining	✓
	Soils	✓
	Air & microclimate	✓
	Flora & fauna	✓
	Waste	✓
	Energy	✓

	Noise & vibration	✓
	Natural hazards – bushfire	✓
	Safety, security crime prevention	N/A
	Social impact in the locality	✓
	Economic impact in the locality	N/A
	Site design and internal design	✓
	Construction	✓
	Cumulative impacts	✓
	Comment: The proposal has acceptable impact on the residential amenity of adjoining property to the east but will not result in any significant adverse impacts on streetscape, bulk and scale, or environmental impact on the locality.	
(c)	The suitability of the site for the development	
	Does the proposal fit in the locality?	✓
	Are the site attributes conducive to this development?	✓
	Comment: The proposal does not alter the character of the locality, or impact on the streetscape, natural features and character of adjoining reserve or residential amenity of adjoining properties.	
(d)	Any submissions made in accordance with this Act or the regulations	
	Public submissions	✓
	Submissions from public authorities	✓
	Comment: NSW Rural Fire Service and WaterNSW raised no objection. Twelve (12) unique submissions were received from the public and addressed above.	
(e)	The public interest	
	Federal, State and Local Government interests and Community interests	✓
	Comment: The proposal will not compromise the character of the locality and therefore approval of the application is in the public interest.	

ATTACHMENT 5: SUBMISSIONS TABLE

Council was in receipt of fourteen (12) individual submissions from the following objectors:

1.	Dr A Ngweso
2.	Dr. F Mathew-Simmons – 68 Mowbray Close, Willoughby
3.	Tom Parker – 6/23 Arkland Street, Cammeray
4.	Mr Campbell Rivers
5.	Jessica Silberstein – PO Box 835, Willoughby NSW
6.	Rachelle Wyzenbeek – 3A Dorset Road, Northbridge
7.	Ruth Rinot – PO Box 462, Glebe 2037
8.	Dr Rob Silberstein – 2202/281 Elizabeth Street, Sydney
9.	John Bradley Architect – 8 Herford Street, Botany
10.	Karl Wyzenbeek – 28 Weemala Road, Northbridge
11.	Sharon Wyzenbeek – 3A Dorset Road, Northbridge
12.	Norbert Wyzenbeek – 3A Dorset Road, Northbridge

The below table provides the issues raised by the objectors and Council's response.

Issues Raised	Officer's Response
Works on site do not reflect plans	
"Extensive undocumented demolition/building works"	<p>The site is subject to a number of applications all being constructed at once including:</p> <ul style="list-style-type: none"> - private complying development certificate (CD-2022/374) relating to internal alterations - DA-2021/307 for an inclinor
"No application for the extensive renovations has been lodged with Council."	
"No mention is any of the current DA's for this property even hints at the total rebuild..."	
"[Balconies] are considerably larger than the original approved DA"	The proposed modification proposes no change to the balconies from the parent consent.
"Our second issue is with the comment on drawing DA3-01 issue A dated 25/10/22 which states "minor extension to existing balcony. retain existing level"."	The comment reflects notations from the approved plans. The balconies as illustrated on the plans reflect the approved plans from the parent application.
Boat Shed	
"Expanded size of boathouse"	The boat shed structure does not change from the approved parent consent. The modification seeks addition excavation to accommodate a drainage void and associated retaining wall.
"Boat house is closer to 3A Dorset than"	

approved”	The boat shed deck does not change as a part of this application and mirrors the approved plans as per the parent consent.
“excavated lower than approved”	
“The boat house walls have been substantially constructed”	
“The boathouse deck is increased and will extend into public space.”	
Encroachments into Northbridge Park and Memorial Reserve	
“The encroachments includes an extensive high sandstone wall buttressing a concrete roadway to enable vehicle access to the rear of 1 Dorset Road.”	Council’s compliance team have been previously notified of the encroachments outlined in the submissions.
“Cyclone fencing well inside..”	
No bushfire assessment	
“There is no bushfire assessment for the modification”	The SEE addresses the requirements under the Rural fires act briefly and note that the site is subject to the highest BAL rating and do not wish to amend. The application was re-referred to NSW RFS with no objection subject to the existing conditions for BAL Flame Zone.
Inclinor	
“inclusion of the inclinor and new landing decks should not be a part of Council’s consideration”	The inclinor notations and illustrations reflect what is approved under DA-2021/307. The plans clearly show that the inclinor is subject to another DA and provides more transparency on how the works fit together. There has been no change in the location or design of the inclinor from what is approved under its application.
“inclinor and inclinor decks are on our property (3A)”	
“Now seems much closer to the boundary”	
Tennis court is not compliant	
“There has been so many changes to the tennis court in the last 6 months that it can no longer claim to be compliant with anything”	The tennis court was always going to be practically impacted during construction, however the court and its use do not change.
Non-compliance with conditions	
“[Non-compliance with]	Non-compliance with the condition referenced in the submission have been forwarded to Council’s compliance department.

condition28....material spilling into the adjoining reserve”.	It is the responsibility of the PCA to ensure compliance.
Noncompliance with geotech report recommendations.	
“No vibration monitoring equipment anywhere”	
“Condition 3A has been ignored”	
“Condition 33 and 13 not [not compliant]”	
“tree and root protection [not compliant]”	
Storm water	
“unfiltered storm water polluting into the harbour”	Non-compliance has been forwarded to Council’s compliance department. In addition conditions for a controlled activity approval (discharging to harbour) have been included and require approval from WaterNSW. This will ensure the construction and post build stormwater system are complaint with the relevant standards.
“1 Dorset has been polluting the harbour”	
Garage	
“Three car spaces inconsistent with the <i>DCP</i> .. Nature strip driveway width is excessive”	The double carport and single hardstand are approved by the parent consent. No changes proposed.

ATTACHMENT 6: SCHEDULE OF CONDITIONS

SCHEDULE

Development Consent DA- 2021/6 is modified as follows:

A. Condition No. 1 is amended to read as follows:

1. Approved Plan/Details

The development must be in accordance with the following consent plans electronically stamped by Council:

Type	Plan No.	Revision/ Issue No	Plan Date (as Amended)	Prepared by
Site and Roof Plan	DA1-01	C	16/06/21	DKC
Demolition Plan	DA1-02			
Carport Plan	DA1-03			
Upper Floor Plan	DA1-04			
Ground Floor Plan	DA1-05			
Lower Ground Floor Plan	DA1-06			
Waterfront Plan	DA1-07			
North and South Elevations	DA2-01			
West Elevation	DA2-02			
East Elevation	DA2-03			
Site Sections	DA3-01			
External Colours and Finishes Schedule	DA4-06			
Landscape concept plan - Front	L100D	D	17/11/20	Spirit Level Designs Pty Ltd
Landscape concept plan - Rear	L101D			
Landscape planting plan	L102			
Stormwater drainage services coversheet, notes 7 drawing legend	SWDA 1.1	P2	23.11.20	Partridge Hydraulic Services
Stormwater drainage services carport & upper floor layouts	SWDA 1.2			
Stormwater drainage services ground floor and lower ground floor layouts	SWDA 1.3			
Stormwater drainage services waterfront layout and catchment plan	SWDA 1.4			
Stormwater drainage services details sheet	SWDA 1.5			
Stormwater drainage services erosion & sediment control plan & details	SWDA 1.1			

the application form and any other supporting documentation submitted as part of the application,

As modified by (DA-2021/6/A)

Plan Type	Plan No.	Revision/ Issue No.	Plan Date (as Amended)	Prepared by
Site and Roof Plan	DA1-01	A	25/10/2022	DKC
Carport Plan	DA1-02			
Upper Floor Plan	DA1-03			
Ground Floor Plan	DA1-04			
Lower Ground Floor Plan	DA1-05			
Waterfront Plan	DA1-06			
North and South Elevations	DA2-01	B	31/08/2023	
West Elevation	DA2-02	A	25/10/2022	
East Elevation	DA2-03			
Site Sections	DA3-01			
External Colours and Finishes Schedule	DA4-06	A	29/08/2023	

the application form and any other supporting documentation submitted as part of the application, except for:

- (a) any modifications which are “Exempt Development” as defined under S.4.1(1) of the *Environmental Planning and Assessment Act 1979*;
- (b) otherwise provided by the conditions of this consent.
(Reason: Information and ensure compliance)

B. The following conditions are added

PRIOR TO COMMENCEMENT

2A. General Terms of Approval – Water NSW

The following conditions from Water NSW must be complied with:

- (a) Before commencing any proposed controlled activity on waterfront land, an application must be submitted to Department of Planning and Environment—Water, and obtained, for a controlled activity approval under the Water Management Act 2000.
- (b) This General Terms of Approval (GTA) only applies to the proposed controlled activity described in the plans and associated documents relating to Development Application DA-2021/6/A provided by Council to Department of Planning and Environment—Water.
Any amendments or modifications to the proposed controlled activity may render the GTA invalid. If the proposed controlled activity is amended or modified, Department of Planning and Environment—Water, must be notified in writing to determine if any variations to the GTA will be required.
- (c) The application for a controlled activity approval must include the following plan(s): Stormwater Outlet Design Plan.

The plan(s) must be prepared in accordance with Department of Planning and Environment—Waters guidelines located on the website <https://www.dpie.nsw.gov.au/water/licensing-and-trade/approvals/controlledactivity-approvals/what/guidelines>

(Reason: Ensure Compliance)

PRIOR TO OCCUPATION OF THE DEVELOPMENT

76A. Building Certificate

Prior to any Occupation Certificate, an application for a Building Information Certificate (BIC) must be lodged with Council and approved for the unauthorised drainage void excavation and retaining wall & front entrance enclosure on the subject premises, in accordance with Division 6.7 of the Environmental Planning & Assessment Act, 1979, to ensure compliance with the National Construction Code.

(Reason: Ensure compliance)

C. Comply with all other conditions of the original development consent.

ATTACHMENT 7: NOTIFICATION MAP



Record of Neighbour Notifications sent relating to:

DA: 2021/6/A

At: 1 Dorset Road, NORTHBRIDGE NSW 2063

